

DA ISSUE ONLY

SENIORS HOUSING DEVELOPMENT

Lots 6, 7 & 8 in DP 35468

17-21 Wardell Rd Alstonville NSW 2477

DRAWING SCHEDULE:

ARCHITECTURAL

Type	Sheet No.	Rev
COVER PAGE	A 01 of 17	A
BLOCK ANALYSIS PLAN	A 02 of 17	A
SITE ANALYSIS PLAN	A 03 of 17	A
DEMOLITION PLAN	A 04 of 17	A
DEVELOPMENT DATA	A 05 of 17	A
SITE & GROUND FLOOR PLAN	A 06 of 17	A
FIRST FLOOR PLAN	A 07 of 17	A
ROOF PLAN	A 08 of 17	A
ELEVATIONS	A 09 of 17	A
ELEVATIONS	A 10 of 17	A
SECTIONS	A 11 of 17	A
SHADOW DIAGRAM - JUNE 21 9am	A 12 of 17	A
SHADOW DIAGRAM - JUNE 21 12noon	A 13 of 17	A
SHADOW DIAGRAM - JUNE 21 3pm	A 14 of 17	A
SHADOW ELEVATIONS	A 15 of 17	A
VIEW FROM SUN DIAGRAMS	A 16 of 17	A
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CIVIL

Type	Sheet No.	Rev
SPECIFICATION SHEET	SW 1 of 5	B
SITE DRAINAGE PLAN	SW 2 of 5	B
OSD SECTION AND STORMWATER DETAILS	SW 3 of 5	B
STORMWATER DETAILS	SW 4 of 5	B
SEDIMENT CONTROL PLAN	SW 5 of 5	B
CUT AND FILL PLAN	C 1 of 1	A

HYDRAULIC

Type	Sheet No.	Rev
LEGEND & NOTES	H 1 of 4	B
SITE / GROUND FLOOR PLAN	H 2 of 4	B
FIRST FLOOR PLAN	H 3 of 4	B
ROOF PLAN	H 4 of 4	B

LANDSCAPE

Type	Sheet No.	Rev
LANDSCAPE PLAN	L 1 of 1	A

SURVEY

Type	Sheet No.	Rev
DETAIL SURVEY	S 1 of 3	2
DETAIL SURVEY	S 2 of 3	3
DETAIL SURVEY	S 3 of 3	2



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D T A Architects
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PROJECT MANAGER

Land & Housing Corporation
NORTHERN NSW REGION

DATE:
22/09/2023

DESIGN:
DA

PROJECT No:
BGZDW

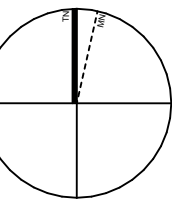
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EXISTING 1 STOREY MULTI UNIT DEVELOPMENT.



EXISTING 1 STOREY MULTI UNIT DEVELOPMENT.



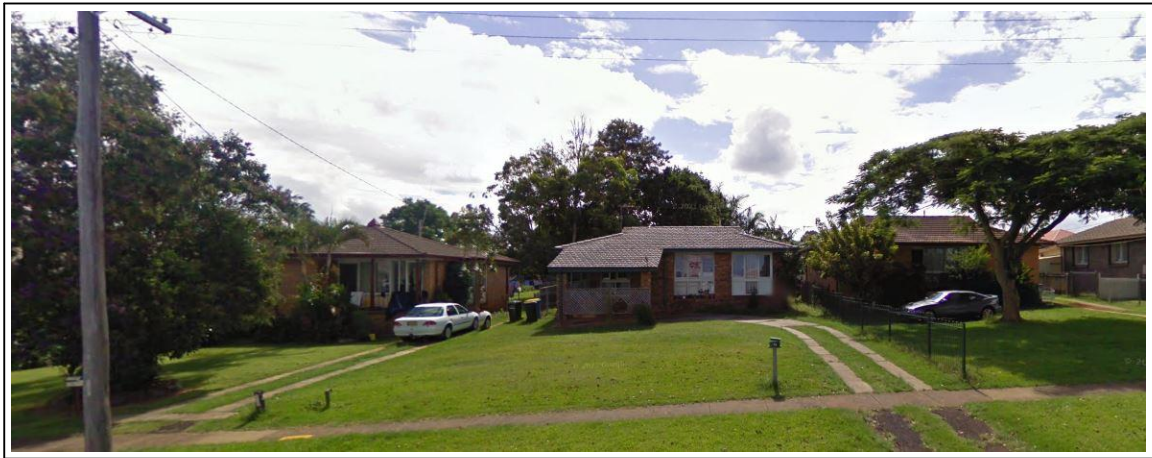
EXISTING 2 STOREY BUILDING.



EXISTING SHOPPING COMPLEX.



PROPOSED DEVELOPMENT OWNED BY DEPARTMENT OF HOUSING



EXISTING 1 STOREY MULTI UNIT DEVELOPMENT.



EXISTING 2 STOREY BUILDING.

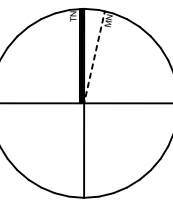


TYPICAL LOT DEVELOPMENT

LEGEND: BLOCK PLAN

- PROPOSED DEVELOPMENT OWNED BY DEPARTMENT OF HOUSING
- BOUNDARY LINE TO LOTS OWNED BY OTHERS

NOTE:
THERE IS NO TYPICAL LOT SIZE OR SHAPE IN THE VICINITY OF THE NEW DEVELOPMENT.



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NORTHERN NSW REGION

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at
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17-21 Wardell Rd Alstonville NSW 2477

TITLE:
BLOCK ANALYSIS PLAN

FILE:
CAD File: S:\Data\2022\2022 033 LAHC SL 17-21
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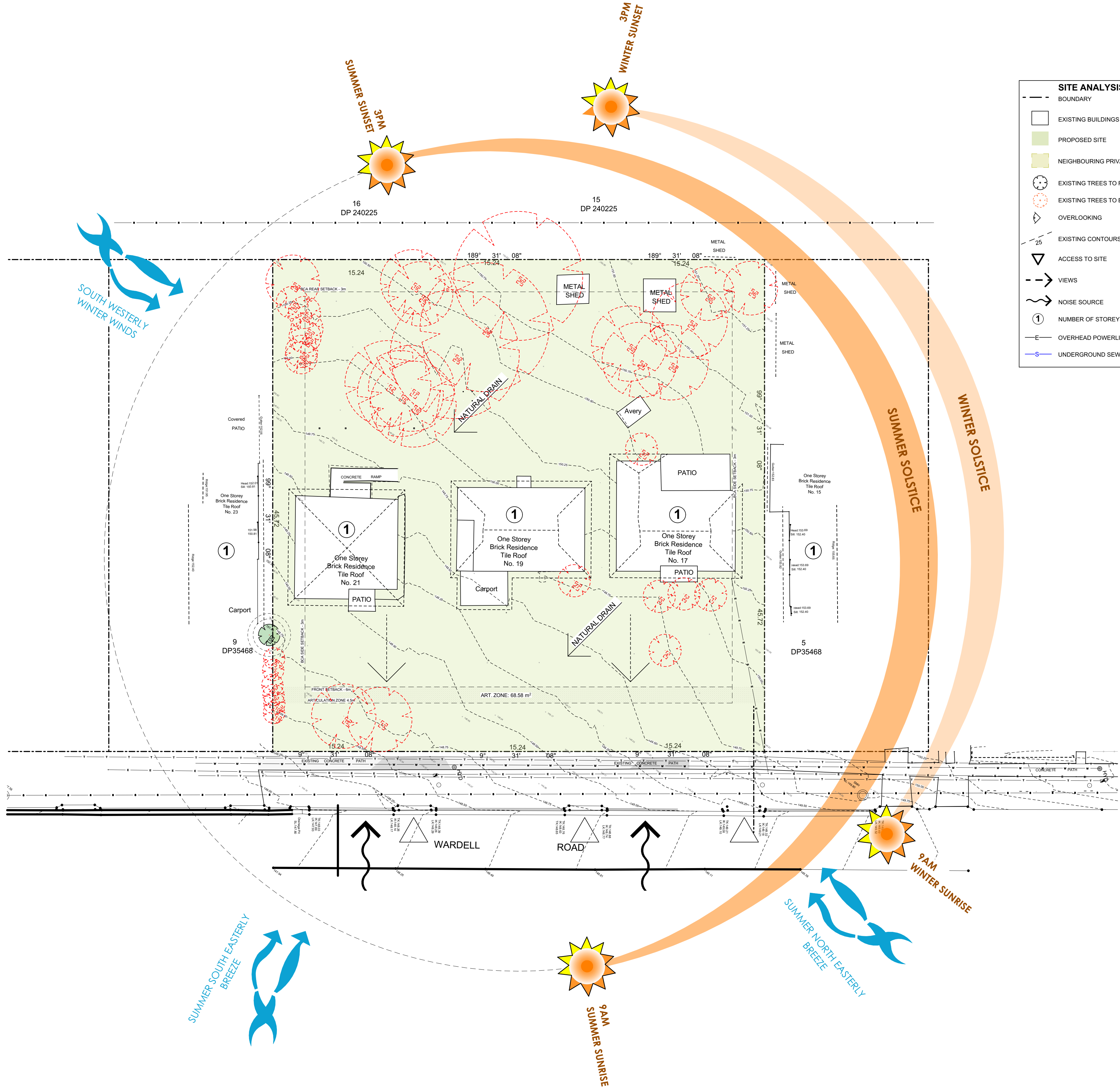
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LOCATION PLAN:



SITE ANALYSIS LEGEND	
	BOUNDARY
	EXISTING BUILDINGS
	PROPOSED SITE
	NEIGHBOURING PRIVATE OPEN SPACE
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	OVERLOOKING
	EXISTING CONTOURS
	ACCESS TO SITE
	VIEWS
	NOISE SOURCE
	NUMBER OF STOREYS
	OVERHEAD POWERLINE
	UNDERGROUND SEWER

1
-

SITE ANALYSIS PLAN
1:200



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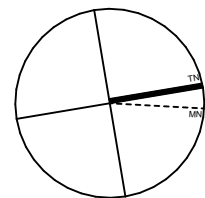
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LEGEND - DEMOLITION

--- EXTENT OF SITE BOUNDARY

EXISTING STRUCTURES TO BE DEMOLISHED. REPAIR & REINSTATE ADJOINING SURFACES.

EXISTING SITE WORKS TO BE REMOVED / DEMOLISHED

EXISTING TREES TO REMAIN. REFER ALSO TO LANDSCAPE DRAWING.

EXISTING TREES TO BE REMOVED. REFER ALSO TO LANDSCAPE DRAWING.

EXISTING LEVELS

PERFORM ALL THE DEMOLITION AS SHOWN ON THE DRAWING AND/OR AS NECESSARY REQUIRED CARRYING OUT THE WORKS UNDER THE CONTRACT.

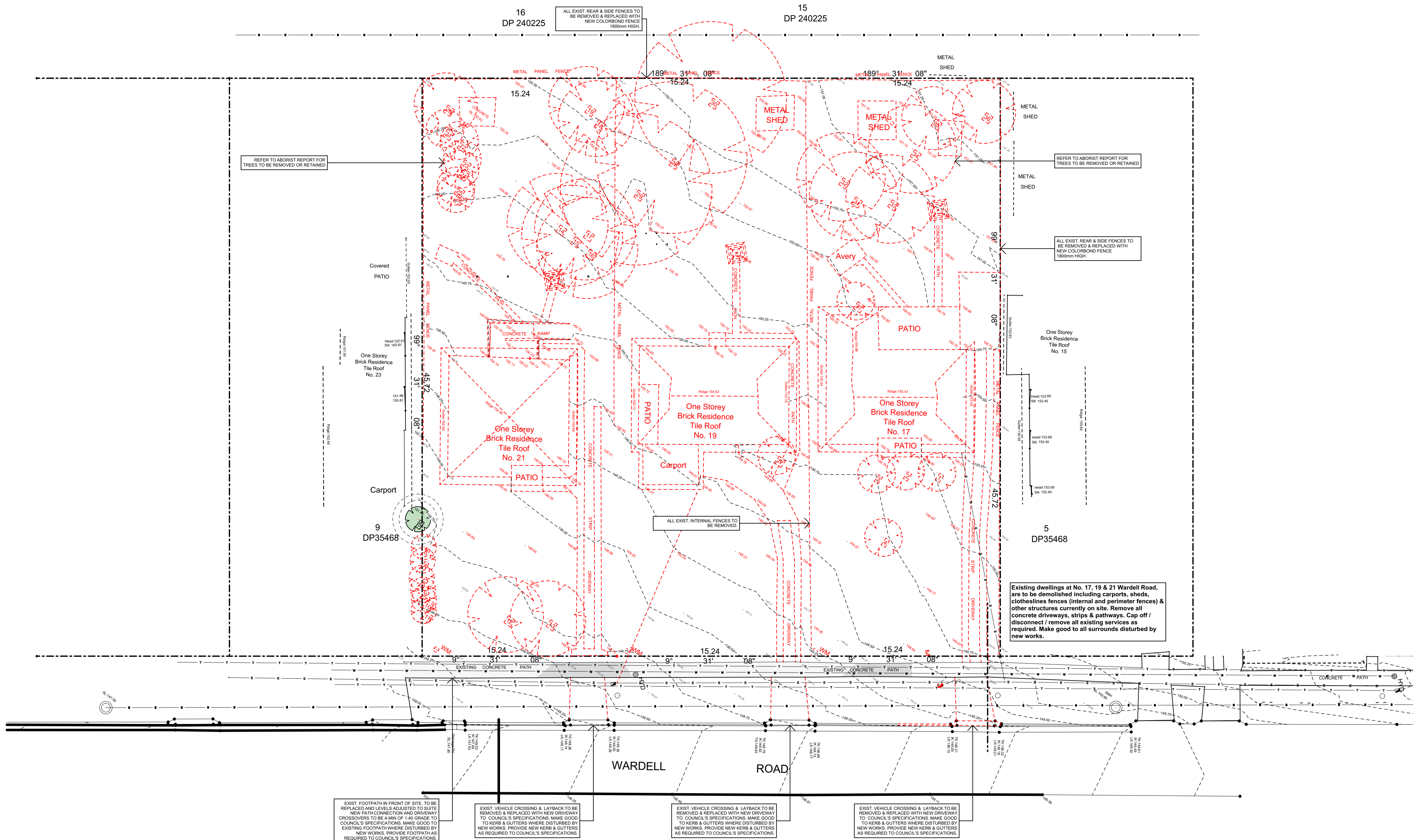
NB: CARE MUST BE TAKEN WHILE CARRING OUT THE WORKS.

PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE MEANS INCLUDING SHORING, STRUTTING, PROTECTIVE SCREENS, SHEETING AND THE LIKE.

REPAIR & REINSTATE ANY SUCH DAMAGE TO MATCH EXISTING.

EXISTING SERVICES: DEAL AS APPROPRIATE WITH EXISTING SERVICES INCLUDED IN OR ENCOUNTERED DURING THE COURSE OF THE DEMOLITIONS.

BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING HAVING ELECTRICAL WIRING, GAS, SEWER AND WATER PIPES, CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM, NOTIFY THE PROJECT MANAGER/ SUPERINTENDENT, AUTHORITIES HAVING JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF SERVICE SO THAT THEY CAN BE REMOVED WITHOUT DANGER.



1
-

DEMOLITION PLAN
1:200



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NORTHERN NSW REGION

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BASIX Report

Building Sustainability Index www.basix.nsw.gov.au

Project summary			
Project name	17-21 Wardell Road, Alstonville		
Street address	17-21 Wardell Road Alstonville 2477		
Local Government Area	Ballina Shire Council		
Plan type and plan number	deposited S468		
Lot no.	6-4		
Section no.			
No. of residential flat buildings	10		
No. of units in residential flat buildings	20		
No. of multi-dwelling houses	3		
No. of single dwelling houses	0		
No. of single dwelling lengths	0		
Project score			
Water	40	Target 40	
Thermal Comfort	Pass	Target Pass	
Energy	66	Target 50	

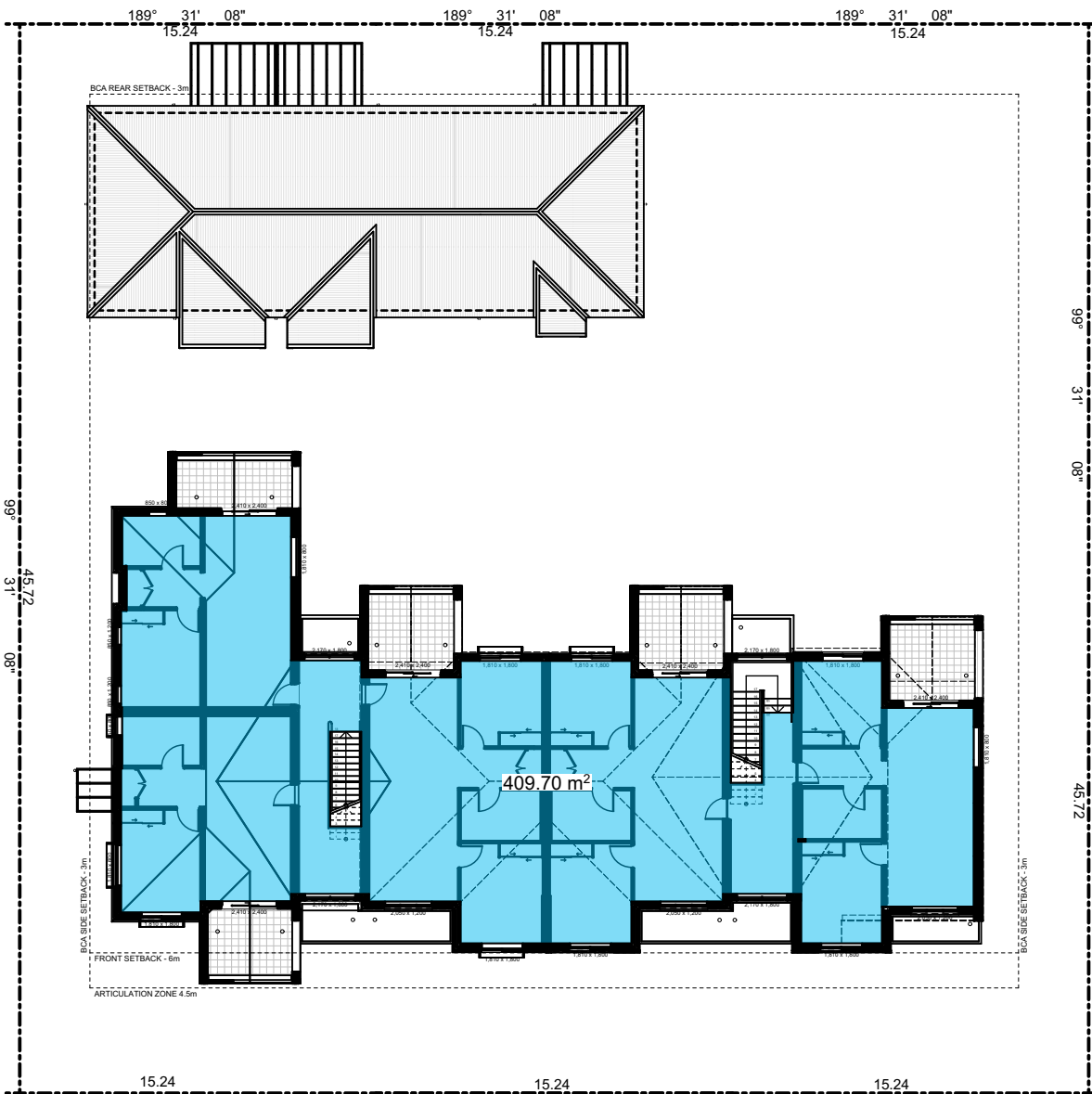
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greenview		ABN: 32600067338
Email: dean@greenview.net.au		Phone: 0404 649 762

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Version: 3.0 (2019/04/13_3_20_0)



1 DEVELOPMENT DATA- GF FSR (LEP) 1:300



4 DEVELOPMENT DATA- FF FSR (LEP) 1:300

NCC 2022 NatHERS Thermal Performance Specification - Alstonville				
External Walls				
Wall Type	Insulation	Colour		Comments
Cavity brick	R0.7	Med - SA 0.475 - 0.70		As per elevations
Metal cladding	R2.5	Med - SA 0.475 - 0.70		As per elevations
SA - Solar Absorptance				
Internal Walls				
Wall Type	Insulation			Comments
Single skin brick	None			Internally in units (Ground floor)
Plasterboard stud	None			Internally in units (Level 1)
Cavity brick	None			Shared walls with units/lobbies
Floors				
Floor Type	Insulation			Comments
Concrete	None			Throughout
Concrete	None			All units with adjoining unit below
Ceilings				
Ceiling Type	Insulation			Comments
Plasterboard	None			Unit above
Plasterboard	R2.5			Roof/air above
Insulation loss due to downlights has been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.				
Roof				
Roof Type	Insulation	Colour		Comments
Metal	R1.3 foil-faced blanket	Med - SA 0.475 - 0.70		Throughout (ventilated cavity)
SA - Solar Absorptance				
Glazing				
Opening type	U-Value	SHGC		Glazing & Frame Type
Sliding + Fixed (Throughout)	5.4	0.58		e.g. Single glazed clear Aluminium frame
Awning (Throughout)	5.4	0.49		e.g. Single glazed clear Aluminium frame
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ± 10% of the above specified values.				
Ceiling fan				
Size	Location			Comments
1200mm in diameter	Living and bedrooms			Throughout

Certificate Prepared by		Greenview Consulting Pty Ltd
greenview		ABN: 32600067338
Email: dean@greenview.net.au		Phone: 0404 649 762



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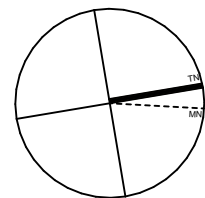
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DEVELOPMENT DATA				
Site Area	2086.66 m²			
Number of existing lots	3			
Number of dwellings	13 units - 6 x 2bed + 7 x 1bed (46:54 ratio)			
Dwellings	Number	Type	No. of Bedrooms	Area (m2)
	1	Ground	1 (SEPP Sch. 4)	59.24
	2	Ground	1 (SEPP Sch. 4)	58.96
	3	Ground	2 (SEPP Sch. 4)	78.91
	4	First	1	59.23
	5	First	1	58.69
	6	First	2	79.33
	7	Ground	2 (SEPP Sch. 4)	78.91
	8	Ground	2 (SEPP Sch. 4)	75.13
	9	First	2	80.25
	10	First	2	75.25
	11	Ground	1 (SEPP Sch. 4)	56.86
	12	Ground	1 (SEPP Sch. 4)	56.82
	13	Ground	1 (SEPP Sch. 4)	56.90
Control		Requirement		Provided
Proposed FSR	HOUSING SEPP	0.5:1		999.74m²
	BALLINA LEP	n/a		0.48:1
Building Height	BALLINA LEP	8.5m		8.5m
	HOUSING SEPP	9.5m		
Setbacks	BALLINA DCP	Front	Primary - 6m Secondary - 4m	Primary - 6.0m
		Side	45° plane from the boundary at 1.8m high	3.2m (U11) 4m (U1&2)
		Rear	45° plane from the boundary at 1.8m high	3.8m
		Art. Zone	4.5m (structures <25% of art zone)	5.63m - 9.4%
Car parking	LAHC	0.5/1bed, 1/2bed (7 x 0.5) + (6 x 1) = 9.5		10
	HOUSING SEPP	3 (1/5 dwellings)		
Landscaping	HOUSING SEPP	35m² / unit (455m²)		Complies (599m²)
	HOUSING SEPP	15% of site = 313m²		326.8m²
Deep Soil	HOUSING SEPP	preferably 65% deep soil to rear = 203.5m²		180.4m²
Solar Orientation	HOUSING SEPP	70% of dwellings to receive 2 hours of sunlight between 9am and 3pm mid winter		Living - 85% (11 units) POS - 100% (13 units)

STORAGE								
Dwelling Number	Kitchen				Linen	Broom	Bedroom	
	Pantry (600mm wide)	Drawer (min. 450mm wide)	Fridge Space (800mm - 1 bed) 900mm - 2 bed)	D/W provision (600mm wide)	min. 600x450 mm wide	min. 600x450 mm wide	Bed 1 (1.8m x 0.6m)	Bed 1 (1.5m x 0.6m)
1	✓	✓	✓	✓	✓	✓	✓	✓
2	✓	✓	✓	✓	✓	✓	✓	✓
3	✓	✓	✓	✓	✓	✓	✓	✓
4	✓	✓	✓	✓	✓	✓	✓	✓
5	✓	✓	✓	✓	✓	✓	✓	✓
6	✓	✓	✓	✓	✓	✓	✓	✓
7	✓	✓	✓	✓	✓	✓	✓	✓
8	✓	✓	✓	✓	✓	✓	✓	✓
9	✓	✓	✓	✓	✓	✓	✓	✓
10	✓	✓	✓	✓	✓	✓	✓	✓
11	✓	✓	✓	✓	✓	✓	✓	✓
12	✓	✓	✓	✓	✓	✓	✓	✓
13	✓	✓	✓	✓	✓	✓	✓	✓

BASIX REQUIREMENTS

All Dwellings:
- Shower to have a min rating of 4 stars (>4.5 but <=6.0 L/min)
- Toilet flushing system to have a min rating of 4 stars
- Taps for kitchens and bathrooms to have a min rating of 5 stars
- Hot water units to be electric heat pump to ground floor units and solar electric boosted to first floor units.
- Provide electric cooktop and electric oven to all units

Common Areas:
- Rainwater tank to be a min of 4,000 Litres and be of a central rain water tank, collecting a min of 400qsm of roof area.
- Landscape connection to all ground floor units and common landscape area. Toilet connection to all units.
- Solar panels to be provided with a min electrical output of 15 peak kW

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- SITE LEGEND**
- 1 BED
 - 2 BED
 - PRIVATE OPEN SPACE (POS)
 - LANDSCAPE AREA
 - DRIVEWAY, FOOT PATH & PAVED AREA
 - DEEP SOIL ZONE
 - CERAMIC TILE (NS-CT)
 - BRICK RETAINING WALL
 - EX.TREES TO BE RETAINED
 - EX. TREES TO BE REMOVED
 - OVERHEAD POWERLINE
 - UNDERGROUND SEWER
 - EXISTING LEVELS AS PER SURVEY DETAILS
 - NEW LEVELS TO CIVIL ENGINEERS DETAILS
 - HOSE TAP REFER TO HYDRAULIC ENGINEERS DETAILS
- LEGEND**
- AB ARMO BARRIER
 - ABH ARMO BARRIER WITH HANDRAIL
 - ANG CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE TO WALL LINE. REFER TO DETAILS
 - ANG-1 CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE FIXED TO FLOOR EXACT POSITION TO BE DETERMINED ON SITE
 - B STEEL PROTECTIVE BOLLARDS REFER TO DETAILS
 - B-1 VANITY BASIN
 - B-2 WALL HUNG BASIN - DISABLE COMPLIANT
 - B-3 WALL HUNG BASIN
 - BC BATTERY CHARGE
 - BF BACK FLASHING
 - BFC BRICK FINISHED CONCRETE
 - C CARPET AS SPECIFIED
 - CAP CEILING ACCESS PANEL
 - CF COLORBOND FENCE
 - CH CLOTHES HOOK
 - CR CEMENT RENDERED FINISH
 - CS CLEANERS SHELF
 - CT CERAMIC TILES
 - CW COMPLETE WITH
 - DB ELECTRICAL DISTRIBUTION BOARD
 - DN DOWNPIPE - COLORBOND
 - DPS DOWNPIPE & SPREADER - COLORBOND
 - DT DOOR THRESHOLD REFER TO DETAIL
 - DW DISHWASHER AS SPEC.
 - EAC EXPOSED AGGREGATE CONCRETE
 - EDB ELECT. DISTRIBUTION BOARD. REFER TO ELECT. DOCUMENTS
 - EF EXHAUST FAN
 - EG EAVES GUTTER
 - EW EYE WASH
 - F FRIDGE AS SPEC.
 - FG FIXED GLASS
 - FHR FIRE HOSE REEL REFER TO HYDRAULIC ENGINEERS DETAILS
 - FIP FIR INDICATOR PANEL (LOCATED MAIN ENTRY)
 - FM RECESSED FLOOR MAT
 - FW FLOOR WASTE
 - GD GRATED DRAIN
 - GPO-S SINGLE GENERAL PURPOSE OUTLET
 - GPO-D DOUBLE GENERAL PURPOSE OUTLET
 - GRB GOAL POST BOLLARDS
 - GR GRAB RAIL
 - HD HAND DRYER
 - HTH HEATED THRESHOLD
 - HWU HOT WATER UNIT
 - HYD HYDRANT REFER TO HYDRAULIC ENGINEERS DETAILS
 - LC LAMINATED BENCH TOP & CUPBOARDS
 - LK LOCKERS
 - M1 MIRROR
 - MSB ELECTRICAL MAIN SWITCH BOARD
 - MW MICROWAVE OVEN AS SPEC.
 - MF1 METAL FENCE MF1-1200mm IN HEIGHT
 - MF2 METAL FENCE MF2-1500mm IN HEIGHT
 - MF3 METAL FENCE MF3-1800mm IN HEIGHT
 - NS-CT NON-SLIP CERAMIC TILE
 - OF OVERFLOW
 - PB PLASTERBOARD LINING
 - PTD PAPER TOWEL DISPENSER
 - RR RANGE HOOD
 - RM RECESSED ENTRY MAT
 - SCR SHOWER CURTAIN RAIL
 - SC COLUMN TO STRUCTURAL ENGINEERS DETAILS
 - SD SOAP DISPENSER
 - SH WALL SHELF
 - SK SEWER STACK REFER TO HYDRAULIC ENGINEERS DETAILS
 - SK-1 CLEANER SINK
 - SK-2 BOX GUTTER SUMP & OVERFLOW
 - SMP STEEL TROWEL FINISHED CONCRETE
 - TGSI TACTILE INDICATOR
 - TG TRENCH / GRATED DRAIN
 - TR THRESHOLD RAMP
 - TP TIMBER FLOORING
 - TPH TOILET PARTITIONS
 - TPH TOILET PAPER HOLDER
 - TS-1 TRANSLUCENT ROOF SHEETING
 - TS-2 TAP SET - WASHROOMS
 - TS-3 TAP SET - KITCHEN
 - TS-4 TAP SET - CLEANERS
 - US MOP & BROOM SHELF
 - V VENT PIPE
 - VP REFER TO HYDRAULIC DOCUMENTS
 - VTY VENT UNIT
 - WB WORK BENCH
 - WC-1 TOILET PAN / SUITE
 - WC-2 TOILET PAN / SUITE DISABLE COMPLIANT
 - WC-3 TOILET PAN / SUITE AMBULANT
 - WG WHEEL GUIDE
 - WT WASH TROUGH
 - WU-1 WALL HUNG URINAL
 - WS WHEEL STOP
 - XP EPOXY FLOORING

SITE PLAN

1:100



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Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT

at
Lots 6, 7 & 8 in DP 35468
17-21 Wardell Rd Alstonville NSW 2477

TITLE:
SITE & GROUND FLOOR PLAN

DATE:
22/09/2023
SCALE:
As shown @ A1
DRAWN:
SD
CHECKED:
DD
PLOTTED:
22/09/2023
4:26 PM

DEVELOPMENT APPLICATION
DATE:
22/09/2023
STAGE:
C
TYPE:
A
PROJECT:
BGZDW
DRAWN:
DD
CHECKED:
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22/09/2023
4:26 PM
PAGE:
6 of 17
JOB:
2022.033
CERTIFIER:
DD
REV:
A

0 5 10 20 40MM

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PROVIDE TRAFFICABLE LYSAGHT OR STRATCO CARPORT SYSTEM, POSTS & SUPPORTS. TRAFFICABLE TRANSCUENT SHEET ROOFING OVER. POWDERCOAT FINISH. INSTALL TO MANUFACTURER'S DETAILS.

SELECTED COLORBOND DOWNPIPES & GUTTERS. REFER TO FINISHES SCHEDULE

PROVIDE TRAFFICABLE LYSAGHT OR STRATCO CARPORT SYSTEM, POSTS & SUPPORTS. TRAFFICABLE TRANSCUENT SHEET ROOFING OVER. POWDERCOAT FINISH. INSTALL TO MANUFACTURER'S DETAILS.

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SELECTED COLORBOND DOWNPIPES & GUTTERS. REFER TO FINISHES SCHEDULE

LINE OF BUILDING BELOW SHOWN DOTTED

SITE LEGEND

- 1 BED
- 2 BED
- PRIVATE OPEN SPACE (POS)
- LANDSCAPE AREA
- DRIVEWAY, FOOT PATH & PAVED AREA
- DEEP SOIL ZONE
- CERAMIC TILE (NS-CT)
- BRICK RETAINING WALL
- EX.TREES TO BE RETAINED
- EX. TREES TO BE REMOVED
- OVERHEAD POWERLINE
- UNDERGROUND SEWER
- EXISTING LEVELS AS PER SURVEY DETAILS
- NEW LEVELS TO CIVIL ENGINEERS DETAILS
- HOSE TAP REFER TO HYDRAULIC ENGINEERS DETAILS

LEGEND

- AB ARMCO BARRIER
- ABH ARMCO BARRIER WITH HANDRAIL
- ANG CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE TO WALL LINE. REFER TO DETAILS
- ANG-1 CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE FIXED TO FLOOR EXACT POSITION TO BE DETERMINED ON SITE
- B STEEL PROTECTIVE BOLLARDS REFER TO DETAILS
- B-1 VANITY BASIN
- B-2 WALL HUNG BASIN - DISABLE COMPLIANT
- B-3 WALL HUNG BASIN
- BC BATTERY CHARGE
- BF BACK FLASHING
- BFC BROOM FINISHED CONCRETE
- C CARPET AS SPECIFIED
- CAP CEILING ACCESS PANEL
- CF COLORBOND FENCE
- CH CLOTHES HOOK
- CR CEMENT RENDERED FINISH
- CS CLEANERS SHELF
- CT CERAMIC TILES
- CW COMPLETE WITH
- DB ELECTRICAL DISTRIBUTION BOARD
- DP DOWNPIPE - COLORBOND
- DPS DOWNPIPE & SPREADER - COLORBOND.
- DT DOOR THRESHOLD REFER TO DETAIL
- DW DISHWASHER AS SPEC.
- EAC EXPOSED AGGREGATE CONCRETE
- EDB ELECT. DISTRIBUTION BOARD. REFER TO ELECT. DOCUMENTS
- EF EXHAUST FAN
- EG EAVES GUTTER
- EW EYE WASH
- F FRIDGE AS SPEC.
- FG FIXED GLASS
- FHR FIRE HOSE REEL REFER TO HYDRAULIC ENGINEERS DETAILS
- FIP FIR INDICATOR PANEL (LOCATED MAIN ENTRY)
- FM RECESSED FLOOR MAT
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- GD GRATED DRAIN
- GPO-S SINGLE GENERAL PURPOSE OUTLET
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- SD SOAP DISPENSER
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- SK SEWER STACK REFER TO HYDRAULIC ENGINEERS DETAILS
- SK-1 STAINLESS STEEL SINK
- SK-2 CLEANER SINK
- SMP BOX GUTTER SUMP & OVERFLOW
- STF STEEL TROWEL FINISHED CONCRETE
- TGSI TACTILE INDICATOR
- TG TRENCH / GRATED DRAIN
- TH THRESHOLD RAMP
- TIM TIMBER FLOORING
- TP TOILET PARTITIONS
- TPH TOILET PAPER HOLDER
- TRS TRANSLUCENT ROOF SHEETING
- TS-1 TAP SET - WASHROOMS
- TS-2 TAP SET - DISABLE COMPLIANT
- TS-3 TAP SET - KITCHEN
- TS-4 TAP SET - CLEANERS
- US MOP & BROOM SHELF
- V VINYL
- VP VENT PIPE
- VTY REFER TO HYDRAULIC DOCUMENTS
- WB VANITY UNIT
- WB WORK BENCH
- WC-1 TOILET PAN / SUITE
- WC-2 TOILET PAN / SUITE DISABLE COMPLIANT
- WC-3 TOILET PAN / SUITE AMBULANT
- WG WHEEL GUIDE
- WT WASH TROUGH
- WU-1 WALL HUNG URINAL
- WS WHEEL STOP
- XP EPOXY FLOORING

1

FIRST FLOOR PLAN
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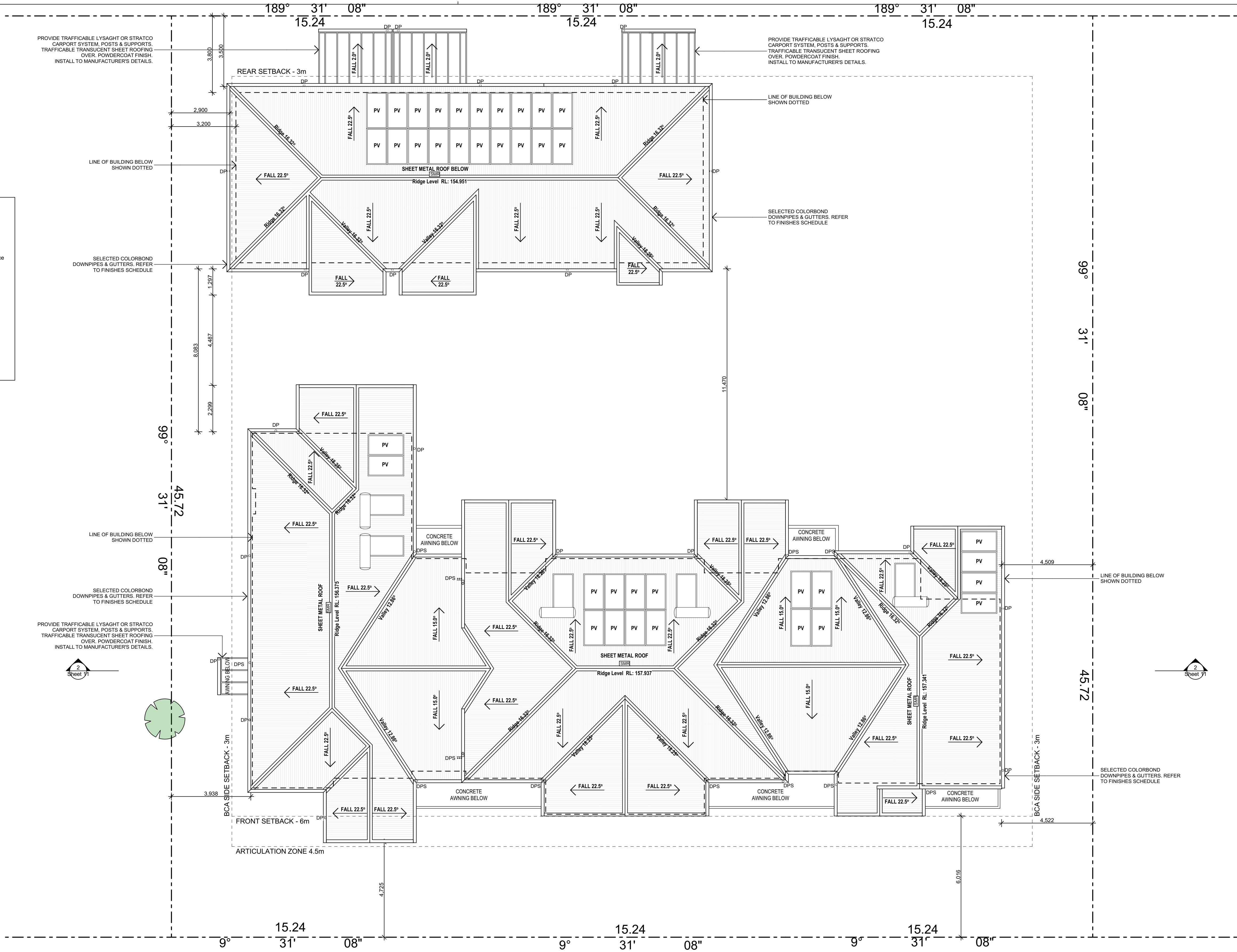
Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
Lots 6, 7 & 8 in DP 35468
17-21 Wardell Rd Alstonville NSW 2477

TITLE
FIRST FLOOR PLAN

STATUS: DEVELOPMENT APPLICATION			
DATE	SCALE	PROJ	JOB
22/09/2023	As shown @ A1	BGZDW	2022.033
STAGE	DRAWN	CHECKED	CERTIFIER
C	SD	DD	DD
TYPE	SHEET	REV:	
A	7 of 17	A	

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2022.033.LAHC.Wardell Rd, Alstonville.DA01.pdf
PLOTTED: 22/09/2023
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ARMO BARRIER
 ARMO BARRIER WITH HANDRAIL
 CONTINUOUS 100 x 100 x 6 GALVANIZED STEEL
 PROTECTIVE ANGLE TO WALL, REFER TO DETAIL
 CONTINUOUS 100 x 100 x 6 GALVANIZED STEEL
 PROTECTIVE ANGLE TO WALL, REFER TO DETAIL
 STEEL TO WALL BOLLARDS REFER TO SITES
 VANITY BASIN
 WALL HUNG BASIN - DISABLE COMPLAINT
 WOODEN COUNTER
 BATTERY CHARGE
 BLACK FLASHING
 BROOM FINISHED CONCRETE
 CARPET AS SPECIFIED
 CEILING ACCESS PANEL
 COLORBOND FENCE
 CLOTHES HOOK
 GROUT AND RENDERED FINISH
 CLEANERS SHELF
 CERAMIC TILES
 COMPLETE WITH
 ELECTRICAL DISTRIBUTION BOARD
 DOWNPIPE - COLORBOND
 DOWNPIPE WITH SPRAYED - COLORBOND
 DOOR THRESHOLD REFER TO DETAIL
 DISHWASHER AS SPEC.
 EXPOSED AGGREGATE CONCRETE
 ELEC DISTRIBUTION BOARD
 REFER ELEC. DOCUMENTS
 EXHAUST FAN
 EVAS GUTTER
 EYE HOLE
 FRIGES AS SPEC.
 FIXED GLASS
 FIRE STOP REFER TO HYDRAULIC
 ENGINEERS DETAILS
 FIRE INDICATOR PANEL (LOCATED MAIN ENTRY)
 RECESSED FLOOR MAT
 FLOOR WASTE
 GRADED DRAIN
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 GUT POST BOLLARDS
 GRAB RAIL
 HAND RAIL
 HEATED THRESHOLD
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 ENGINEERS DETAILS
 LAMINATED BENCH TOP & CUPBOARDS
 LOCKERS
 MIRROR
 METAL FENCE 100 x 1200mm IN HEIGHT
 METAL FENCE 162-1500mm IN HEIGHT
 METAL FENCE 173-1800mm IN HEIGHT
 NON-SLIP CERAMIC TILE
 OVERFLOW
 PASTERBOARD LINING
 PAPER TOWEL DISPENSER
 RAIN HOOD
 RECESSED ENTRY MAT
 SHOWER CURTAIN RAIL
 COIN SLIP STRUCTURAL
 ENGINEERS DETAILS
 SOAP DISPENSER
 WALL SHELF
 SEWER STACK REFER TO HYDRAULIC
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 TOILET PARTITIONS
 TOILET PAPER HOLDER
 TRANSPARENT ROOF SHEETING
 TAP SET - WASHROOM
 TAP SET - DISABLE COMPLAINT
 TAP SET - KITCHEN
 TAP SET - CLEANERS
 MOP & BROOM SHELF
 VENT
 VENT PIPE
 REFER TO HYDRAULIC DOCUMENTS
 VENT PIPE
 WORK BENCH
 TOILET PAN / SUITE
 TOILET PAN / SUITE DISABLE COMPLAINT
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 WHEEL GUIDE
 WASH TROUGH
 WALL HUNG URINAL
 WHEEL STOP
 WHEEL STOP
 EPOXY FLOORING

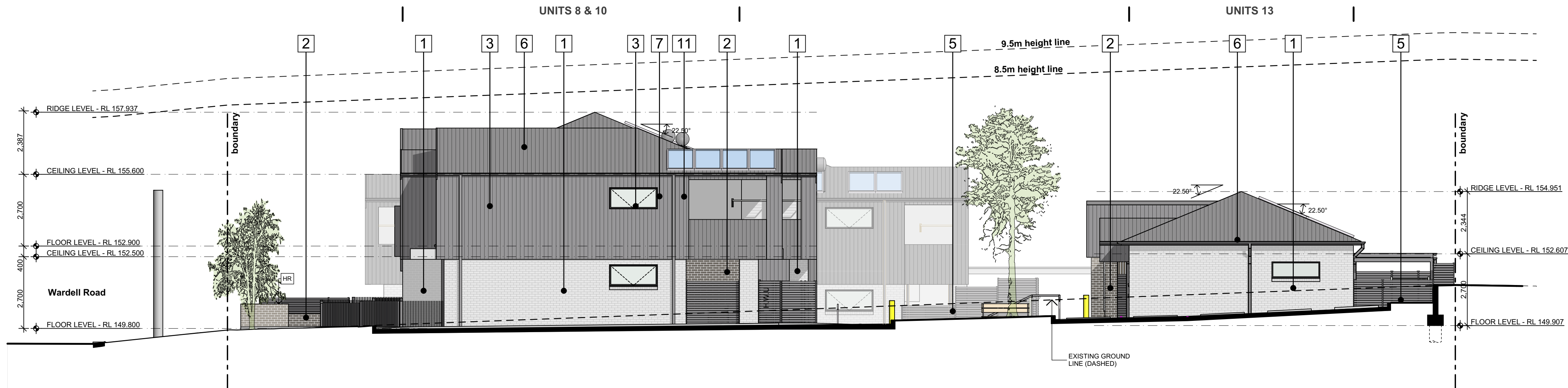
ROOF PLAN
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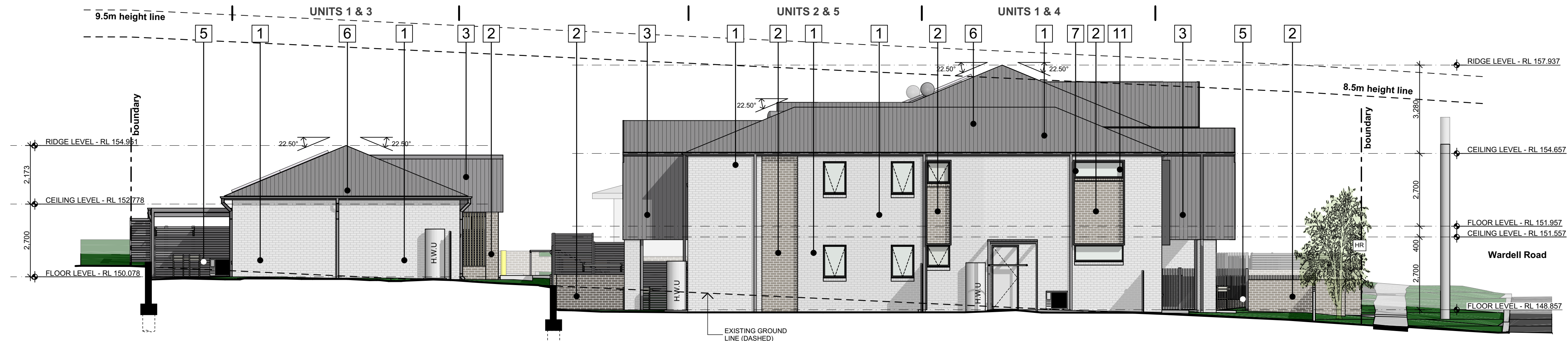


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NORTHERN ELEVATION
1:100

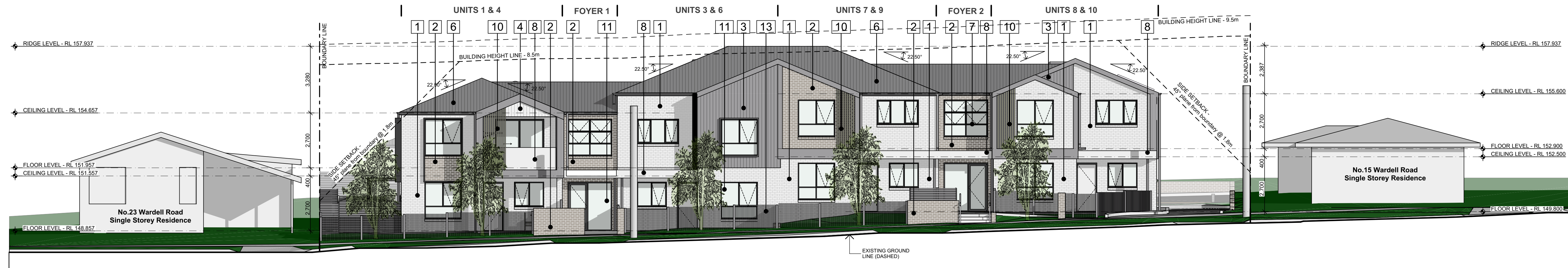
EXTERNAL FINISHES SCHEDULE

1	WALL (FBK1) - Face Brick Type 1 AUSTRAL: Range -Hamptons, Name - Whitehaven
2	WALL (FBK2) - Face Brick Type 2 AUSTRAL: Range -Mineral Contours, Name - Mica Grey
3	WALL CLADDING (MC1) - Metal Wall Cladding Longline, Colour - Basalt Matt
4	WALL CLADDING (MC2) - Metal Wall Cladding Ultra clad shadline, Colour - White Matt
5	COURTYARD FENCE & FRONT METAL FENCE (MF) SIDE & REAR COLORBOND BOUNDARY FENCE (CF) Powdercoat - Basalt
6	ROOF CLADDING (SMR) - Metal Roof Cladding Longline, Colour - Basalt Matt
7	WINDOW / DOOR FRAMES Aluminium Powdercoat - White
8	PAINT FINISH CONCRETE Balcony & Awning concrete edges, all exposed concrete edges. Paint Finish, "Stainproof" Colour: Dulux Vivid White
9	SOFFIT Eaves, Balcony & Awnings Paint Finish. Colour: Dulux Vivid White
10	BATTEN PRIVACY SCREEN (PS) Decobatten - Aluminium Colour - Snow Gum
11	GLASS Type - Clear
12	GLASS Type - Obscure



2
-

SOUTHERN ELEVATION
1:100



3
-

EASTERN ELEVATION - STREET
1:100



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NOMINATED
ARCHITECTS:

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REV	DATE	NOTATION/AMENDMENT
A	21/09/2023	DATE ISSUE
REV	DATE	NOTATION/AMENDMENT
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Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:

SENIORS HOUSING DEVELOPMENT

at
Lots 6, 7 & 8 in DP 35468
17-21 Wardell Rd Alstonville NSW 2477

TITLE:

ELEVATIONS

FILE:
CAD File: S:\Data\2022\2022 033 LAHC SL 17-21
Wardell Rd Alstonville\3 Design\3.2 DA
2022 033 LAHC Wardell Rd, Alstonville.DA01.pdf

STATUS:

DEVELOPMENT APPLICATION

DATE: 22/09/2023
SCALE: As shown @ A1
STAGE: C
DRAWN: SD
CHECKED: DD
TYPE: SHEET
PLOTTED: 22/09/2023
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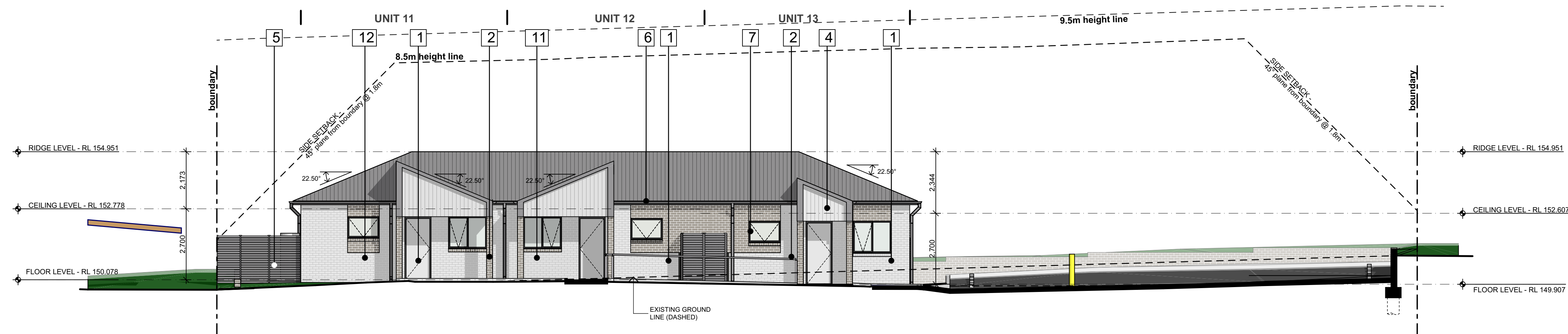
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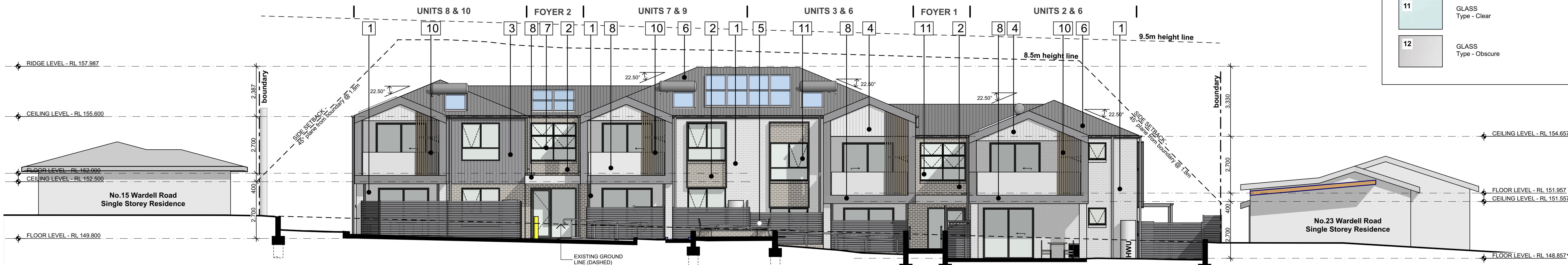


EASTERN INTERNAL ELEVATION

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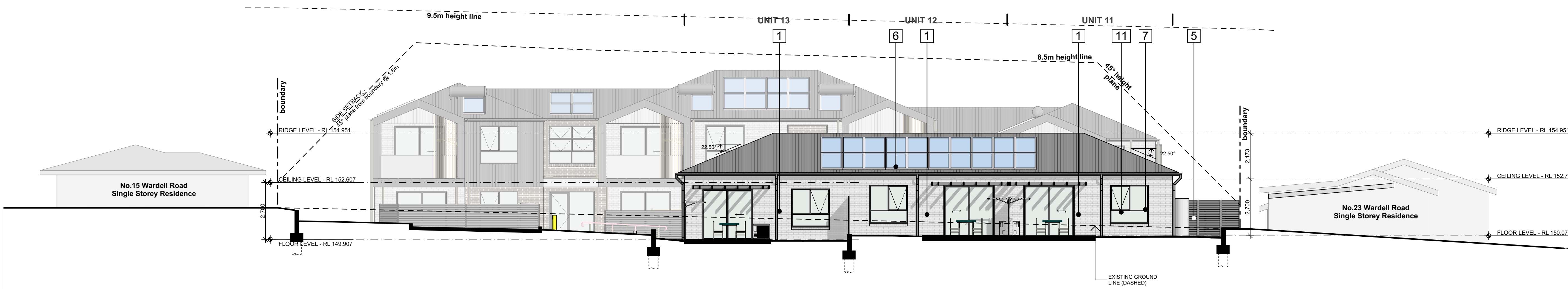
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10	BATTEN PRIVACY SCREEN (PS) Decobatten - Aluminium Colour - Snow Gum
11	GLASS Type - Clear
12	GLASS Type - Obscure



WESTERN INTERNAL ELEVATION

1:100



WESTERN ELEVATION

1:100



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REV	DATE	NOTATION/AMENDMENT
A	21/09/2023	DA ISSUE
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Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
Lots 6, 7 & 8 in DP 35468
17-21 Wardell Rd Alstonville NSW 2477

TITLE:
ELEVATIONS

FILE:
CAD File: S:\Data\3\2022\2022 033 LAHC SL 17-21
Wardell Rd Alstonville\3 Design\3.2 DA
2022 033 LAHC Wardell Rd, Alstonville.DA01.pln

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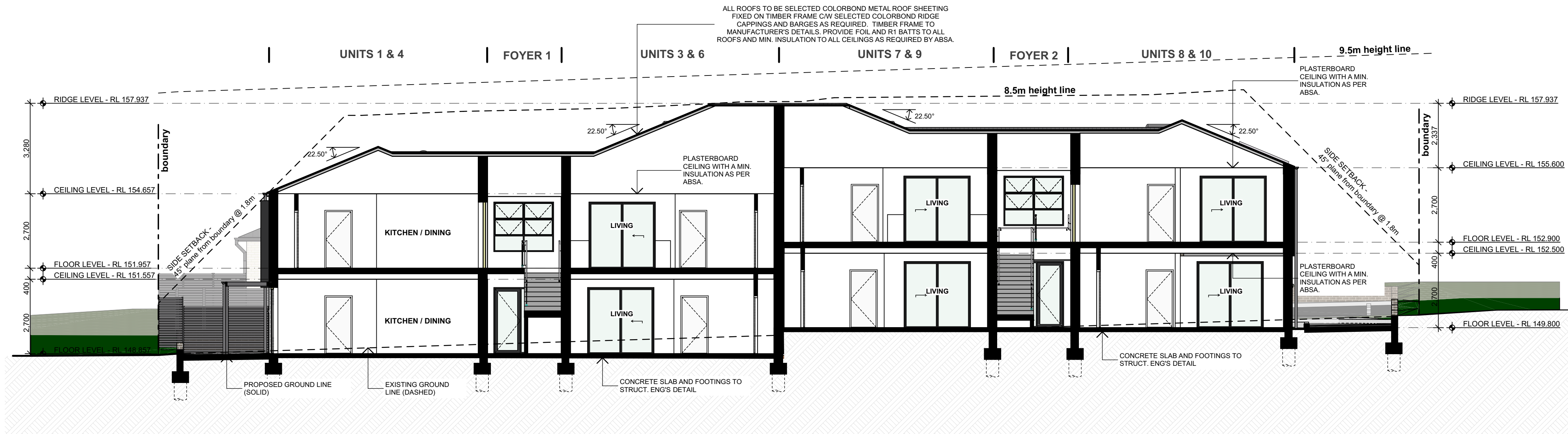
STATUS: DEVELOPMENT APPLICATION			
DATE 22/09/2023	SCALE As shown @ A1	PROJ BGZDW	JOB 2022.033
STAGE C	DRAWN SD	CHECKED DD	CERTIFIER DD
TYPE A	SHEET 10 of 17	REV: A	

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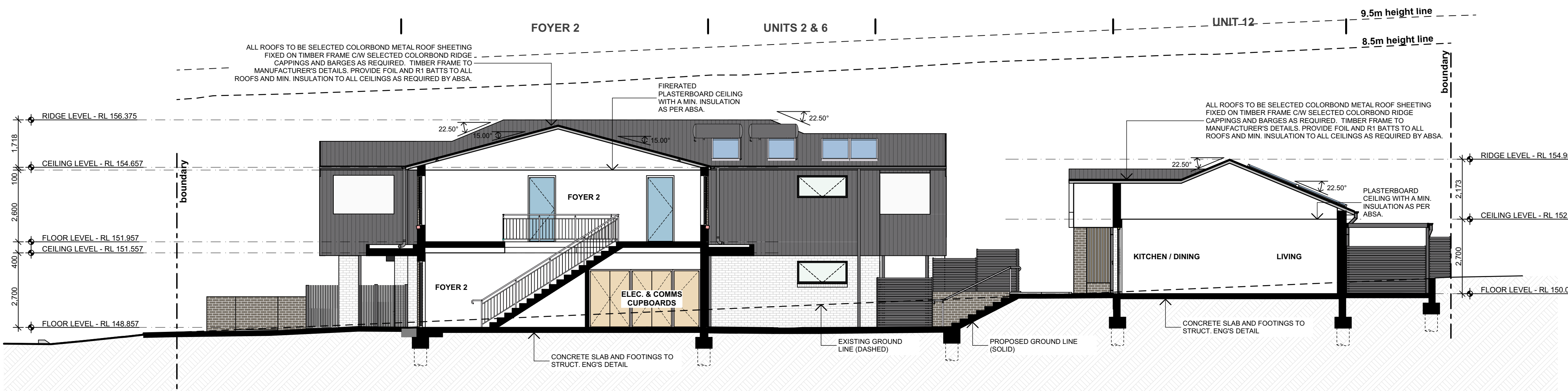
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2
-

SECTION
1:100



1
-

SECTION
1:100



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REV	DATE	NOTATION/AMENDMENT
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Greenview Consulting Pty Ltd
PH (02) 8544 1663
LANDSCAPE CONSULTANT
Ray Fuggle & Associated Pty Ltd
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BUSINESS PARTNER:



Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
Lots 6, 7 & 8 in DP 35468
17-21 Wardell Rd Alstonville NSW 2477

TITLE:
SECTIONS

FILE:
CAD File: S:\Data\2022\2022 033 LAHC SL 17-21
Wardell Rd Alstonville\3 Design\3.2 DA
2022 033 LAHC Wardell Rd, Alstonville.CAD1.pht

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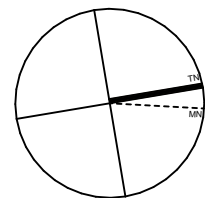
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22/09/2023	As shown @ A1	BGZDW	2022.033	
STAGE:	DRAWN:	CHECKED:	CERTIFIER:	
C	SD	DD	DD	
TYPE:	SHEET:	REV:		
A	11 of 17	A		

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SCALE FOR PRINTING

PURPOSE ONLY

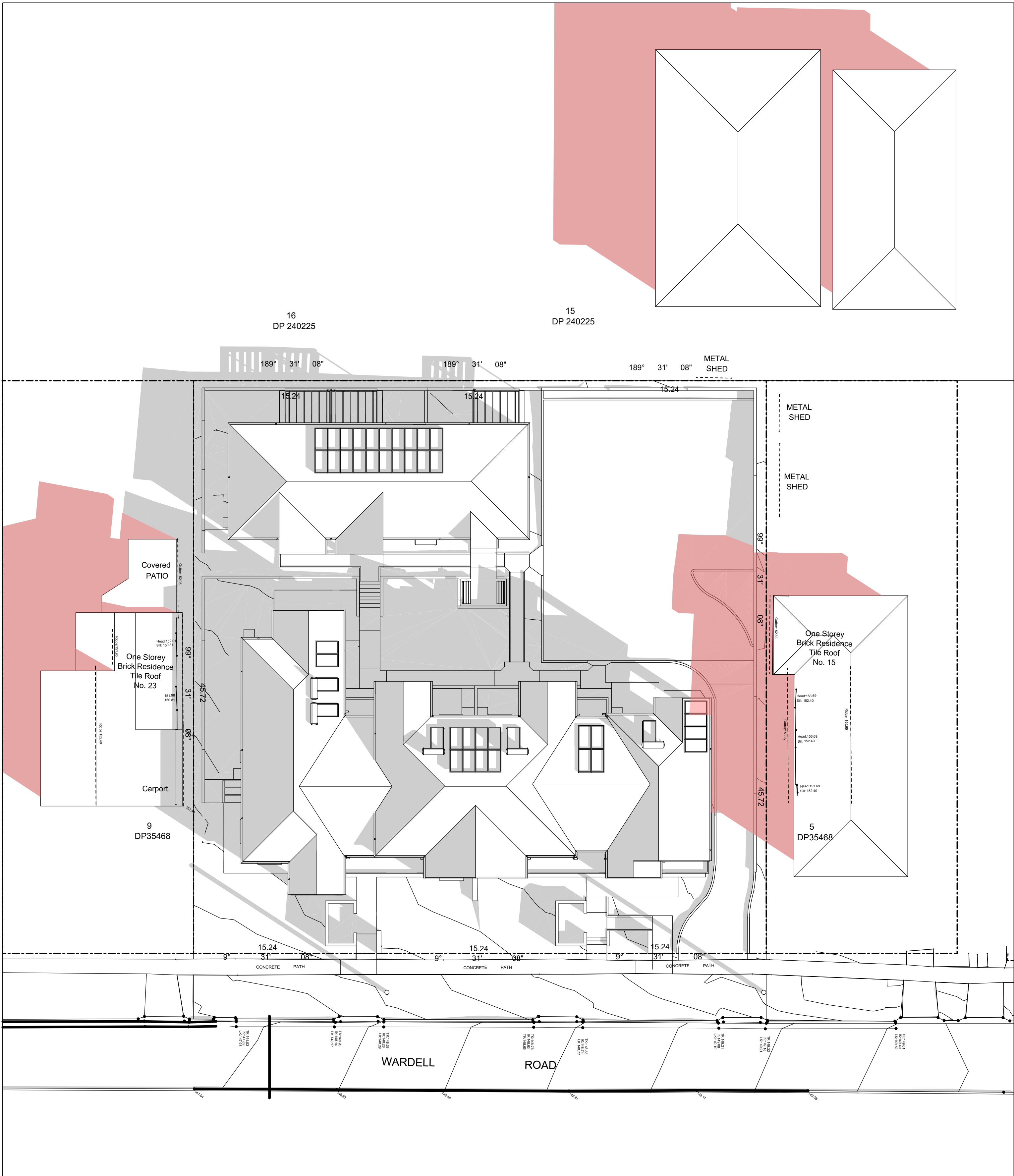
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LEGEND

Grey area indicates shadows cast by proposed development

Red area indicates existing shadows cast by neighbouring properties



1
-

SHADOW DIAGRAM - 9AM
1:200



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NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No.9068

Member
Australian Institute of Architects

REV	DATE	NOTATION/AMENDMENT
A	21/09/2023	ISSUE
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Land & Housing Corporation
NORTHERN NSW REGION

BUSINESS PARTNER:
PROJECT:
SENIORS HOUSING DEVELOPMENT
at
Lots 6, 7 & 8 in DP 35468
17-21 Wardell Rd Alstonville NSW 2477

TITLE:
SHADOW DIAGRAM - JUNE 21 9am

FILE:
CAD File: S:\Data\3\2022\2022 033 LAHC SL 17-21
Wardell Rd Alstonville\3 Design\3.2 DA
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PLOTTED: 22/09/2023
4:27 PM

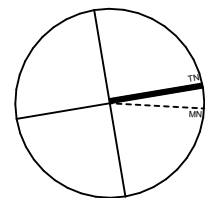
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DATE 22/09/2023	SCALE As shown @ A1	PROJ BGZDW	JOB 2022.033
STAGE C	DRAWN SD	CHECKED DD	CERTIFIER DD
TYPE A	SHEET 12 of 17	REV: A	

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SCALE FOR PRINTING

PURPOSE ONLY

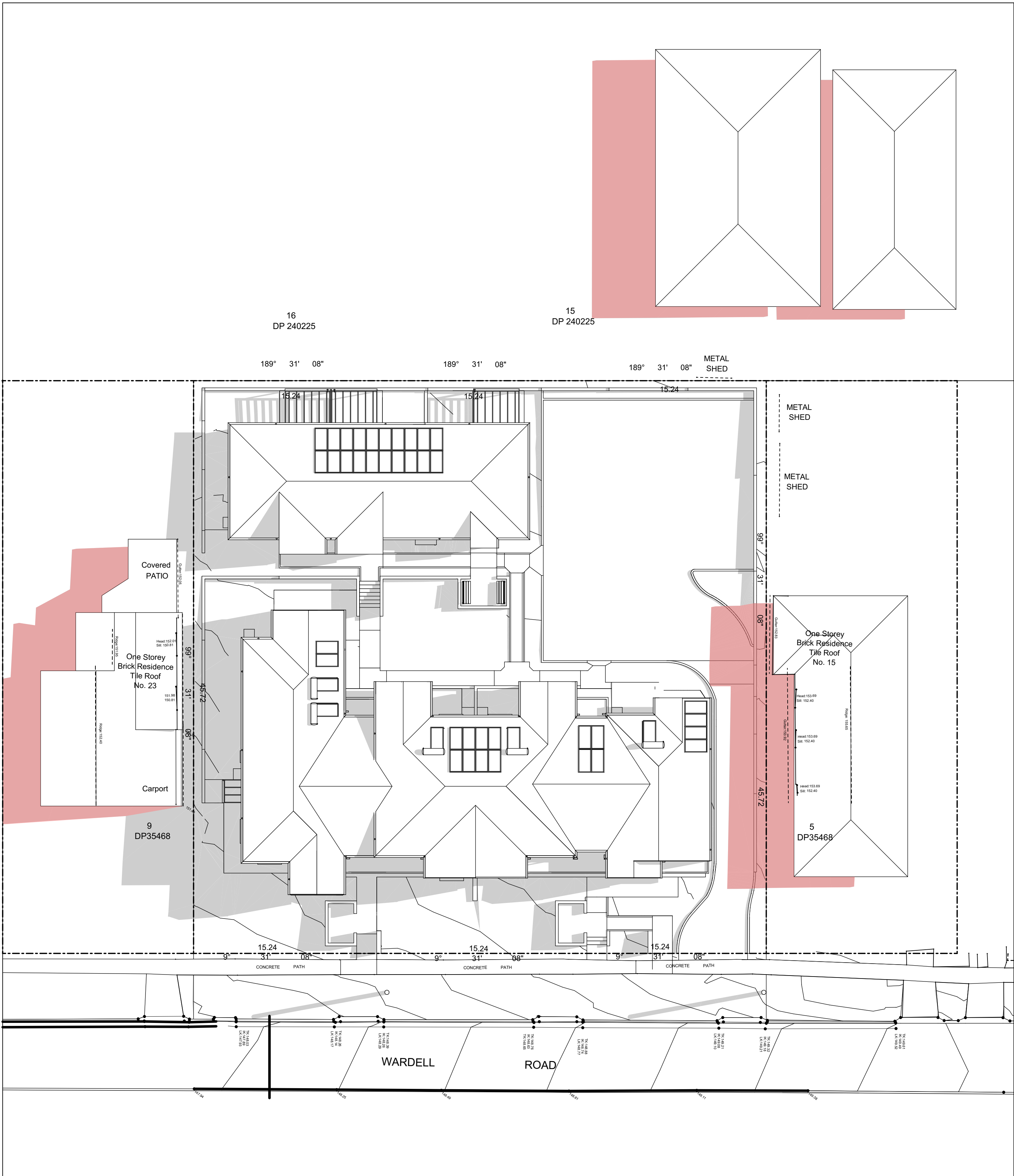
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LEGEND

Grey area indicates shadows cast by proposed development

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1
-

SHADOW DIAGRAM - 12PM
1:200



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NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No.9068



REV	DATE	NOTATION/AMENDMENT
A	21/09/2023	DAISSUE
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BUSINESS PARTNER:



Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
Lots 6, 7 & 8 in DP 35468
17-21 Wardell Rd Alstonville NSW 2477

TITLE:
SHADOW DIAGRAM - JUNE 21 12noon

DATE: 22/09/2023
SCALE: As shown @ A1
STAGE: C
DRAWN: SD
CHECKED: DD
PLOTTER: 22/09/2023 4:27 PM

STATUS: DEVELOPMENT APPLICATION

DATE	SCALE	PROJ	JOB
22/09/2023	As shown @ A1	BGZDW	2022.033
STAGE	DRAWN	CHECKED	CERTIFIER
C	SD	DD	DD
TYPE	SHEET	REV:	
A	13 of 17	A	

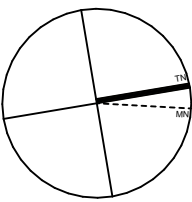
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Wardell Rd Alstonville\3_Design\3.2_DA
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SCALE FOR PRINTING

PURPOSE ONLY

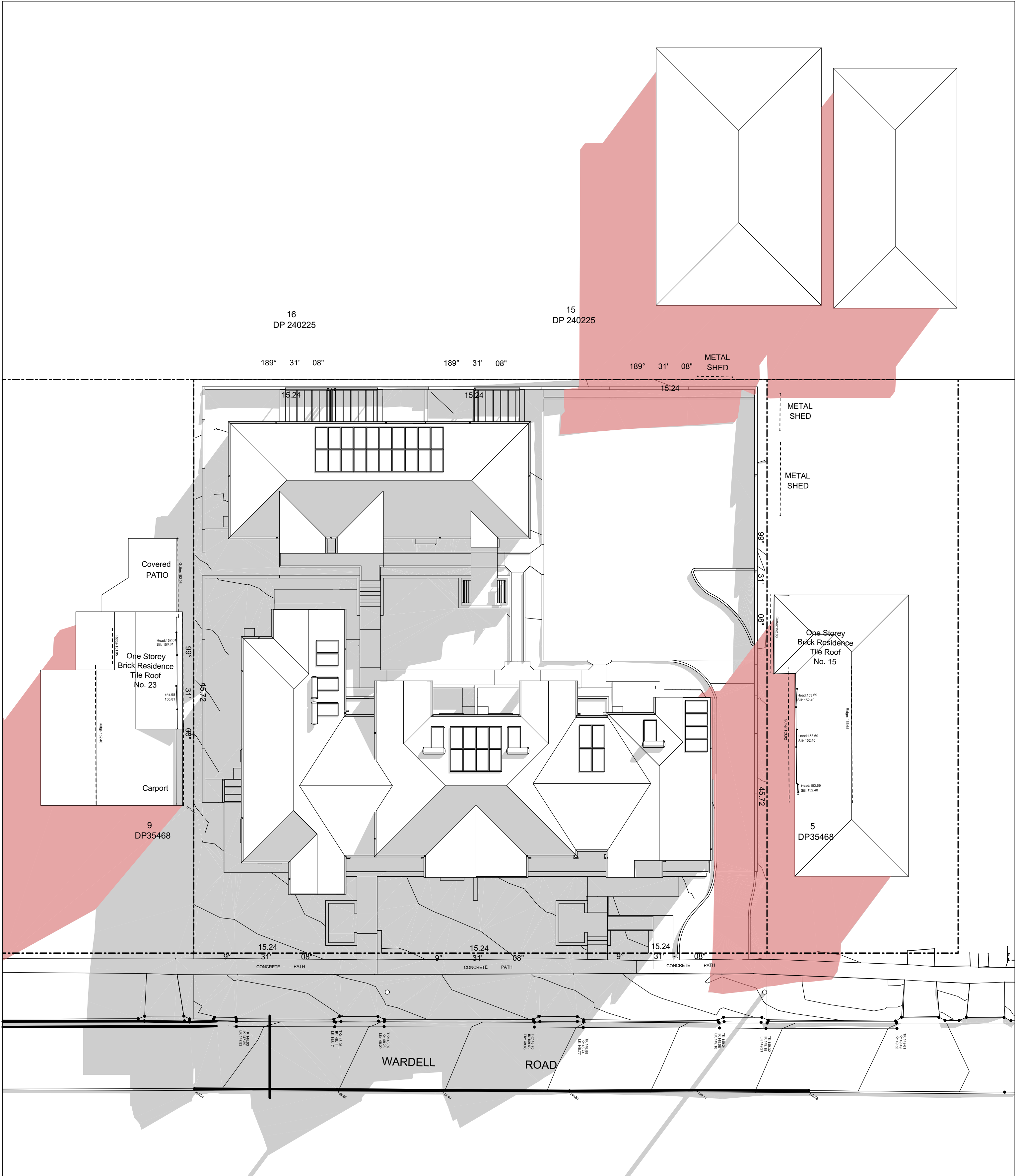
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LEGEND

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1
-

SHADOW DIAGRAM - 3PM
1:200



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NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No.9068

Member
Architects' Institute of Australia

REV	DATE	NOTATION/AMENDMENT
A	21/09/2023	DATE
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NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
Lots 6, 7 & 8 in DP 35468
17-21 Wardell Rd Alstonville NSW 2477

TITLE:
SHADOW DIAGRAM - JUNE 21 3pm

FILE:
CAD File: S:\Data\3\2022\2022_033\LAHC\SL-17-21
Wardell Rd Alstonville\3_Design\3.2_DA
2022_033_LAHC_Wardell Rd, Alstonville.DA01.pln

PLOTTED: 22/09/2023
4:27 PM

STATUS: DEVELOPMENT APPLICATION

DATE	SCALE	PROJ	JOB
22/09/2023	As shown @ A1	BGZDW	2022.033
STAGE	DRAWN	CHECKED	CERTIFIER
C	SD	DD	DD
TYPE	SHEET	REV:	
A	14 of 17	A	



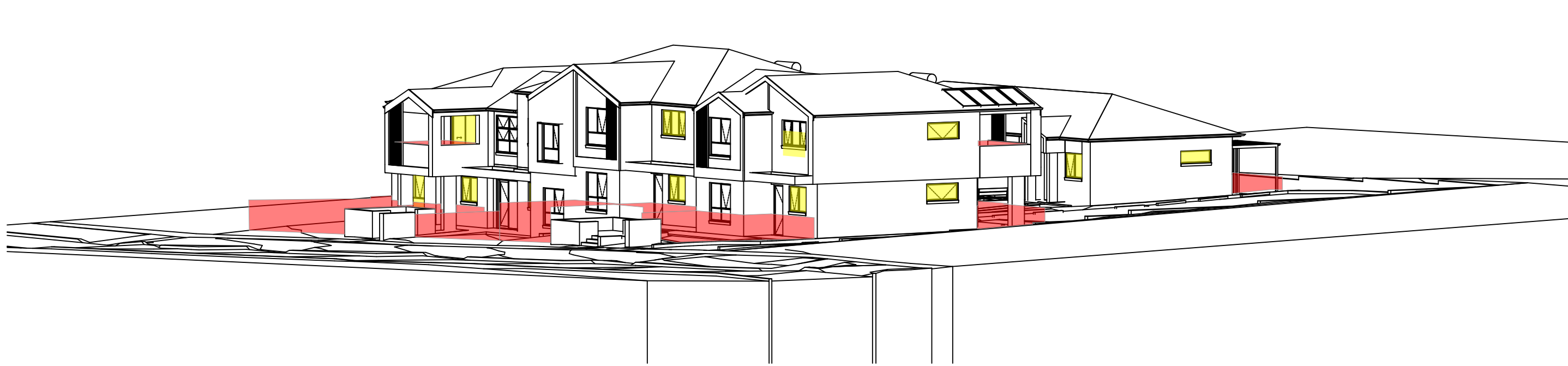
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SHADOW ELEVATION - 12PM
1:200

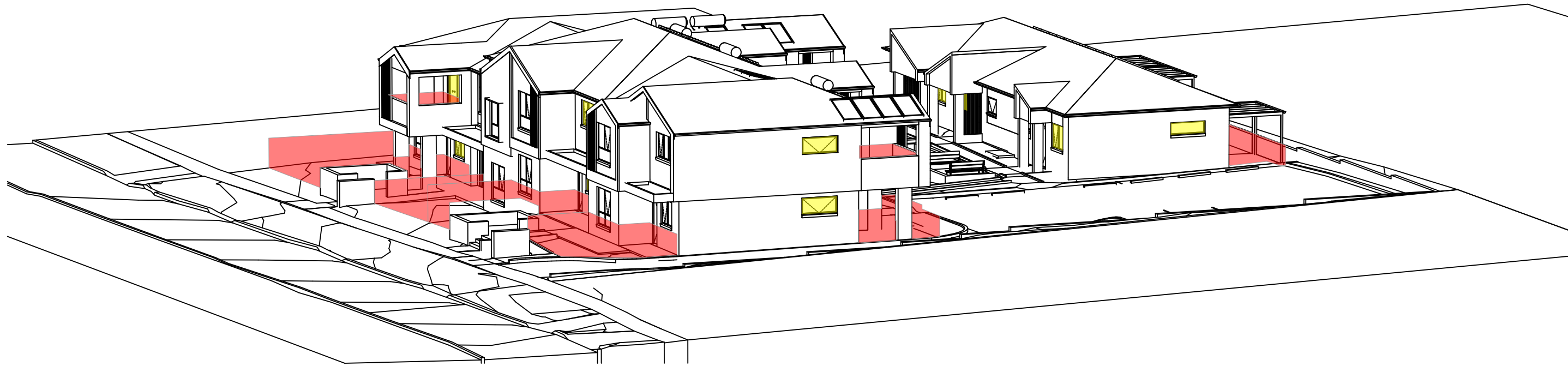


SHADOW ELEVATION - 3PM
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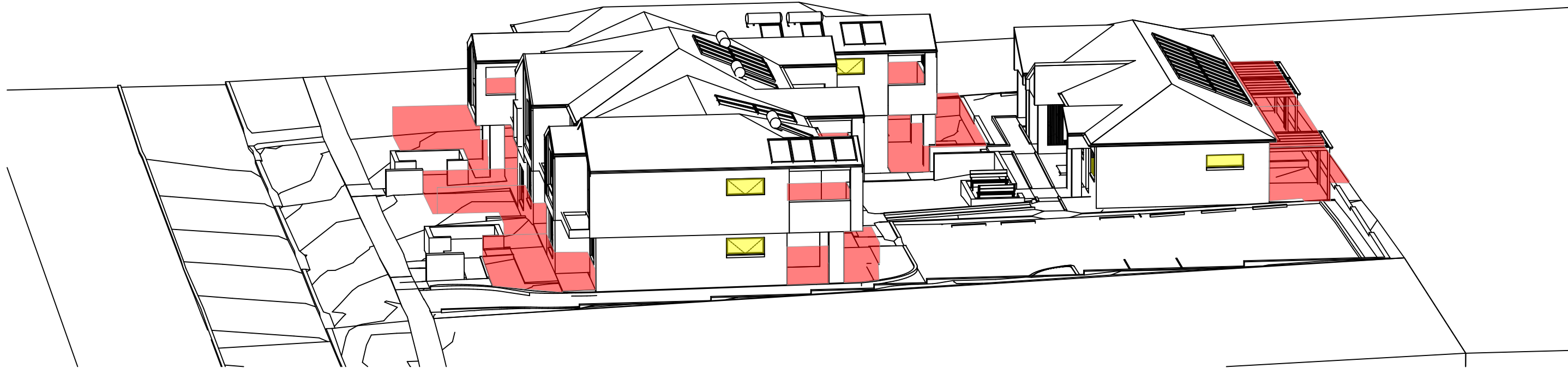
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VIEW FROM SUN - 9AM
1:200



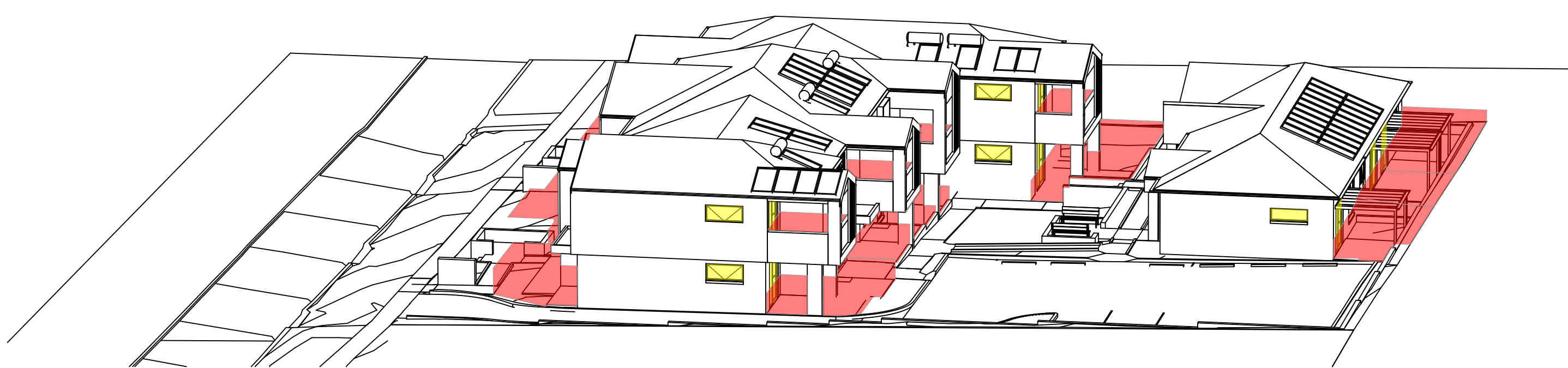
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VIEW FROM SUN - 10AM
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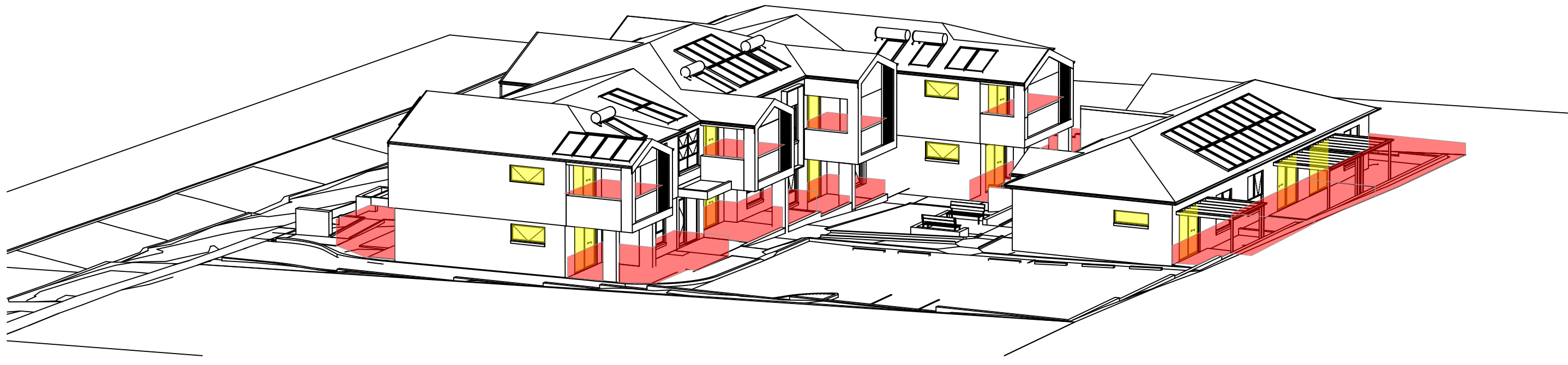
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VIEW FROM SUN - 11AM
1:200



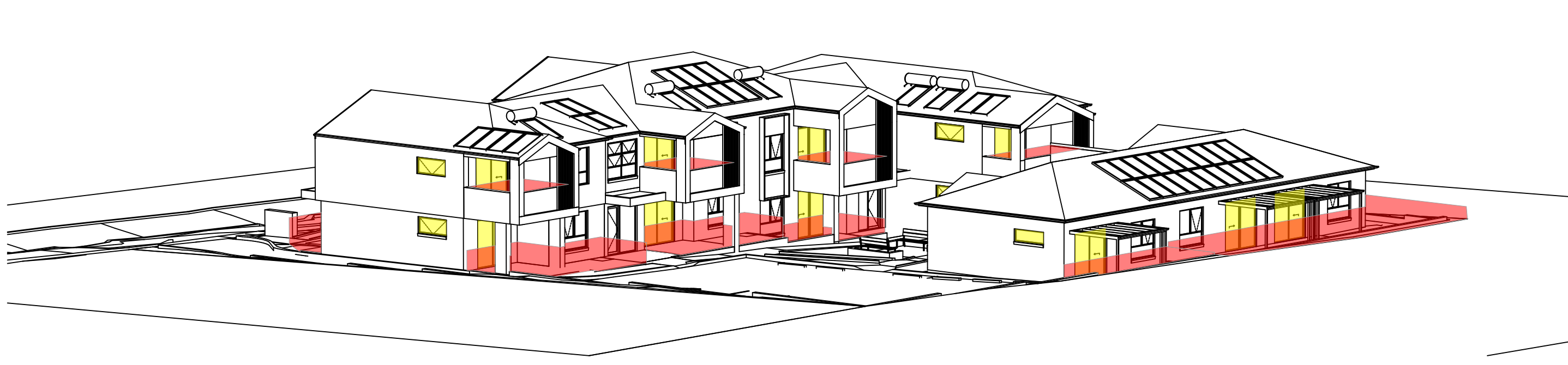
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VIEW FROM SUN - 12PM
1:200



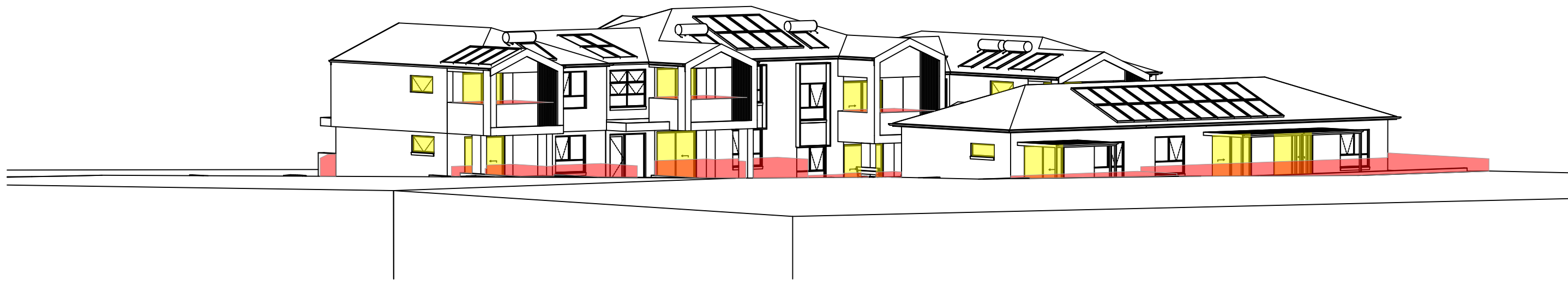
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VIEW FROM SUN - 1PM
1:200



6
-

VIEW FROM SUN - 2PM
1:200



7
-

VIEW FROM SUN - 3PM
1:200

Solar Access to Living Rooms							
Unit Number	9-10 am	10-11 am	11-12 pm	12-1 pm	1-2 pm	2-3 pm	Hours
1							1
2							2
3							2
4							1
5							4
6							2
7							3.5
8							6
9							3.5
10							6
11							3.5
12							3.5
13							6

Solar Access to Private Open Space							
Unit Number	9-10 am	10-11 am	11-12 pm	12-1 pm	1-2 pm	2-3 pm	Hours
1							2
2							2
3							5
4							2
5							4
6							3
7							6
8							6
9							4
10							5
11							4
12							4
13							6

